

JDCC  
5 April 2023



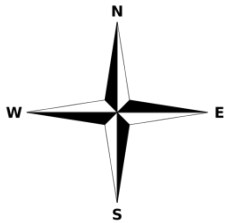
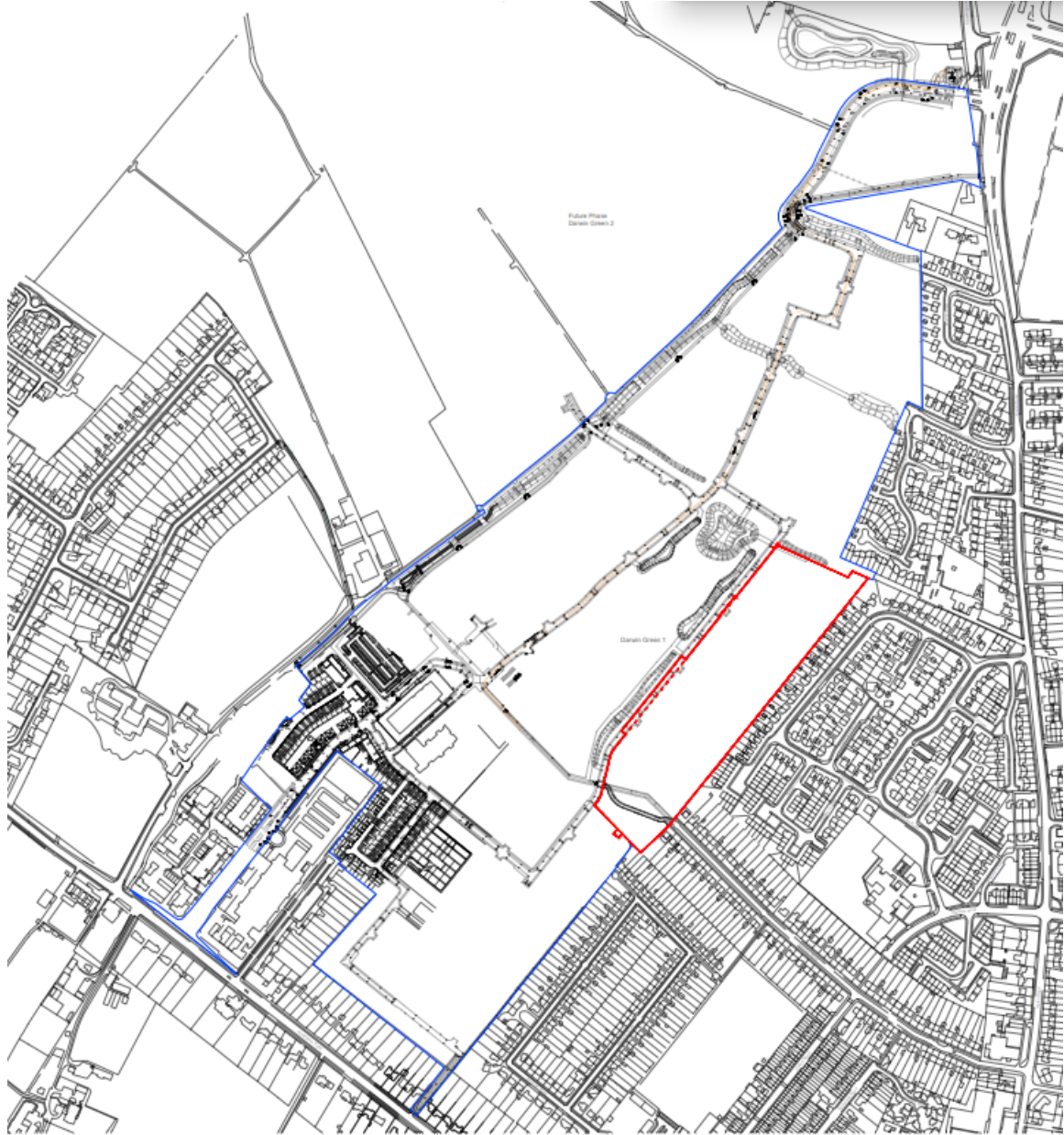
**GREATER CAMBRIDGE**  
SHARED PLANNING

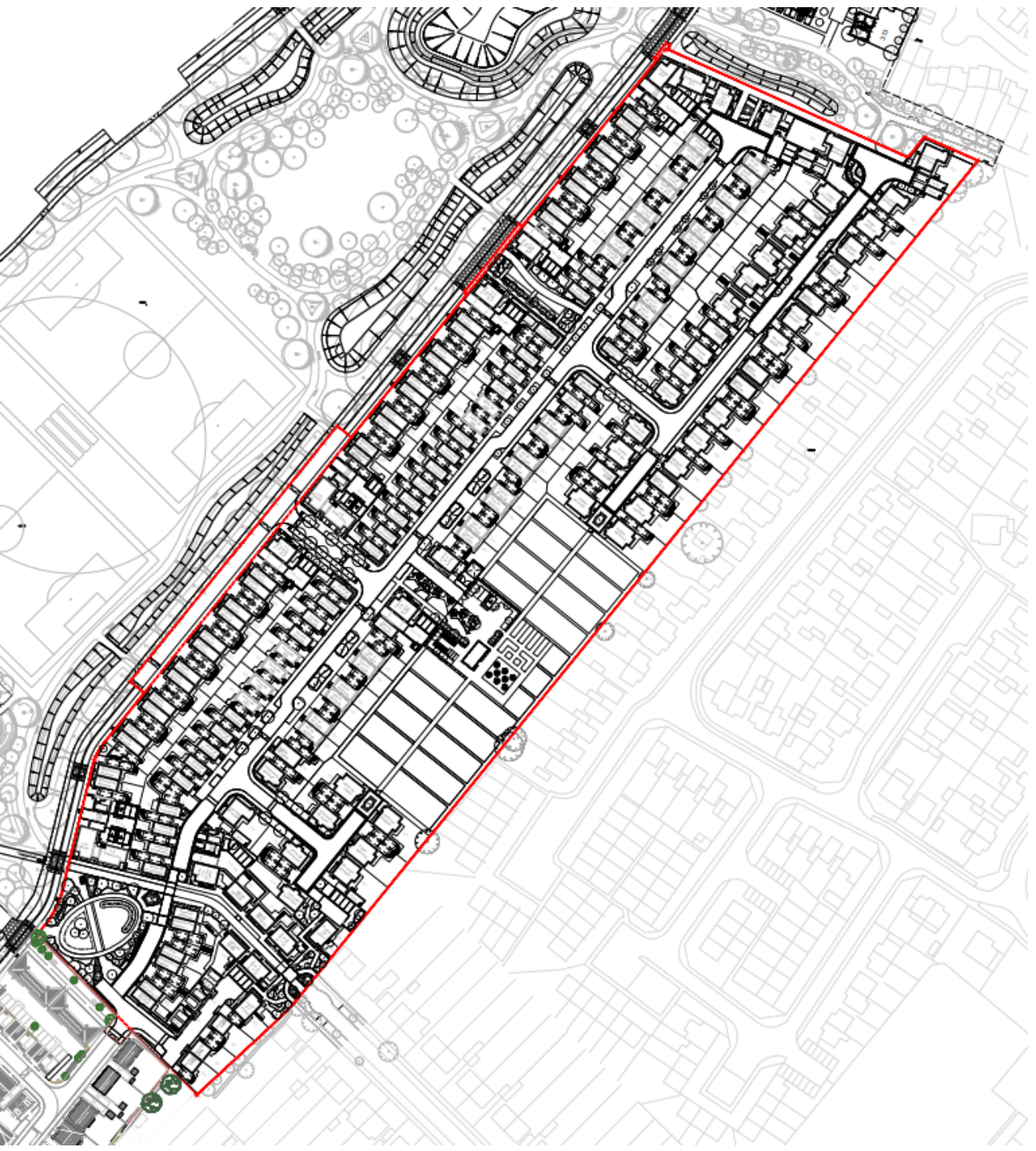
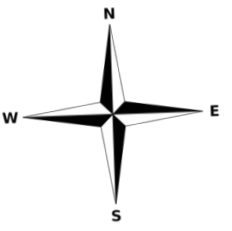
# 21/05434/REM – Parcel BDW3, Darwin Green 1, Land between Huntingdon Road and Histon Road

Page 2

Proposal: Reserved Matters application for third housing phase (known as BDW3) including 210 dwellings with associated internal roads, car parking, landscaping, amenity and public open space. The Reserved Matters include access, appearance, landscaping, layout and scale and related partial discharge of conditions 8, 10, 14, 17, 18, 22, 25, 26, 28, 35, 40, 49, 58, 62, 66, and 69 pursuant to outline approval 07/0003/OUT

# Site Location Plan







# Typical Apartment Block



Page 5

**Front Elevation**

1 : 200

2

**Side Elevation**

1 : 200



3

**Rear Elevation**

1 : 200

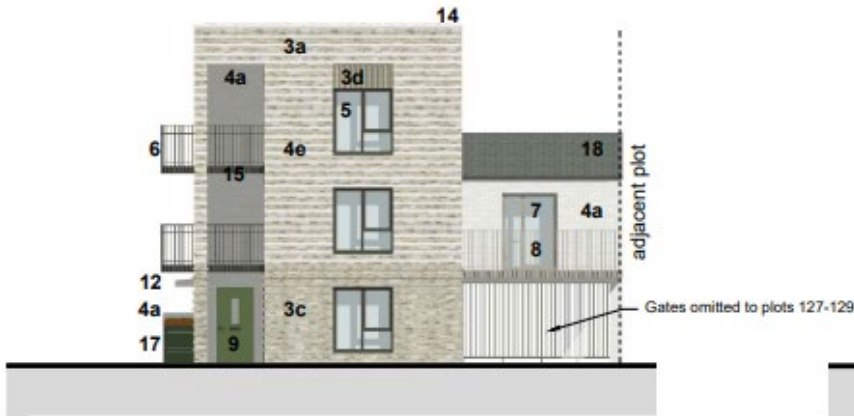
4

**Side Elevation**

1 : 200



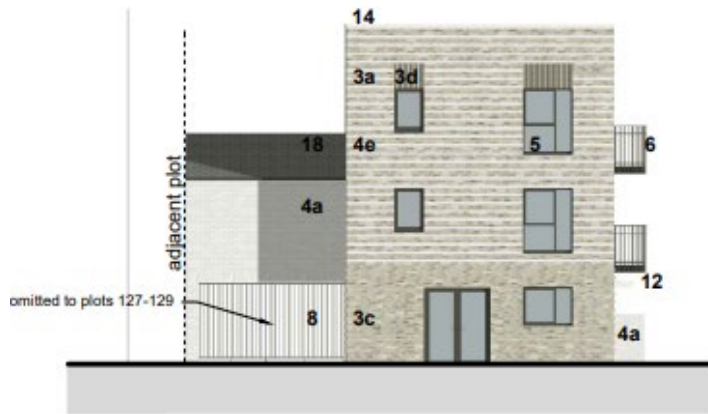
# Typical Walk-up Block



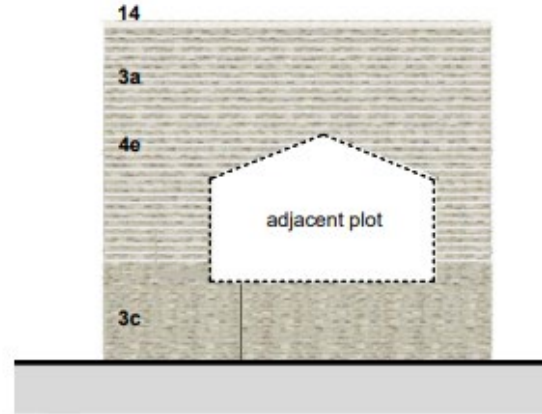
1 **Front Elevation 1**  
1 : 200



2 **Front Elevation 2**  
1 : 200



3 **Rear Elevation**  
1 : 200



4 **Side Elevation**  
1 : 200

# Typical primary Street House



1 Proposed Front Elevation  
1:100



3 Proposed Side Elevation  
1:100



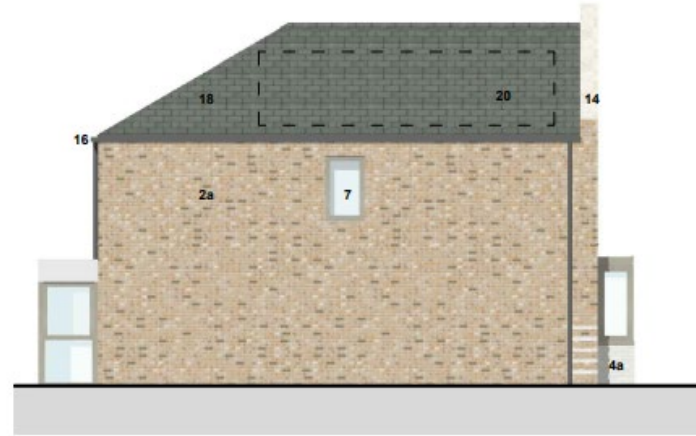
2 Proposed Rear Elevation  
1:100

# Typical tertiary Street House

Page 8



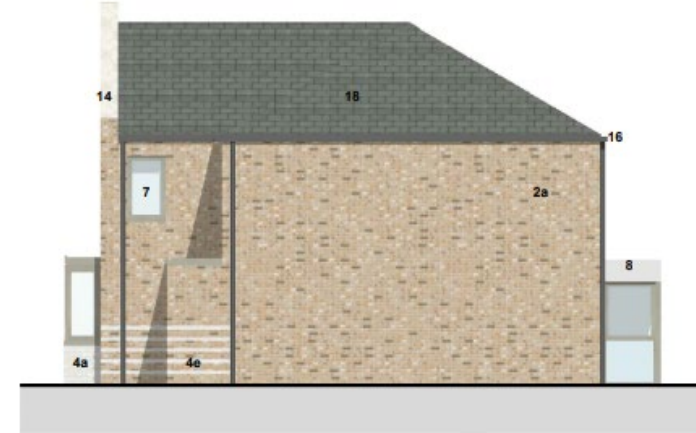
1 **Proposed Front Elevation**  
1:100



3 **Proposed Side Elevation**  
1:100



2 **Proposed Rear Elevation**  
1:100



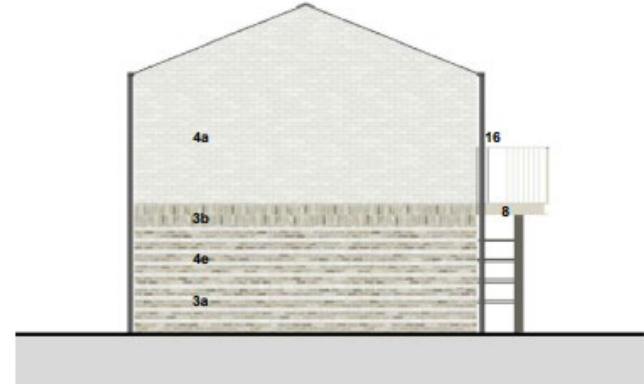
4 **Proposed Side Elevation**  
1:100



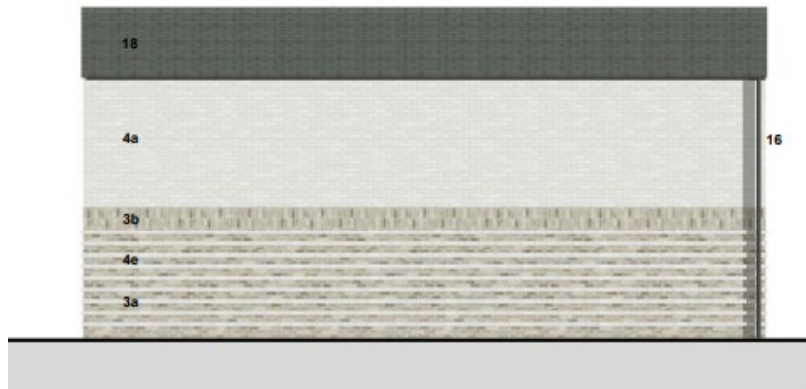
# Typical Flat over Garage



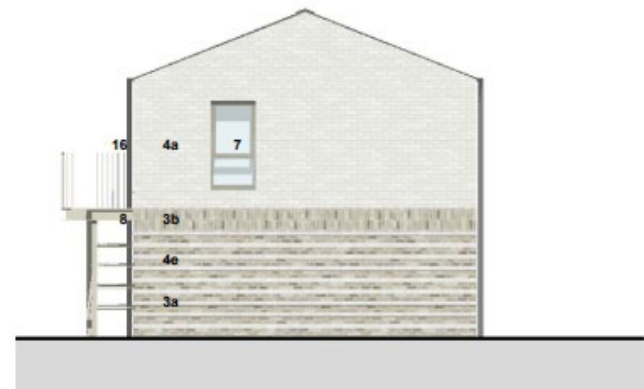
1 Proposed Front Elevation  
1:100



3 Proposed Side Elevation  
1:100



2 Proposed Rear Elevation  
1:100



4 Proposed Side Elevation  
1:100

# Site sections - Primary street



# Site sections – tertiary street



Page 11



# Site sections - southern boundary



Page 12

# Site sections - northern boundary





JDCC  
5 April 2023

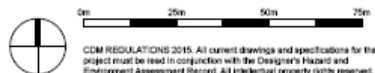
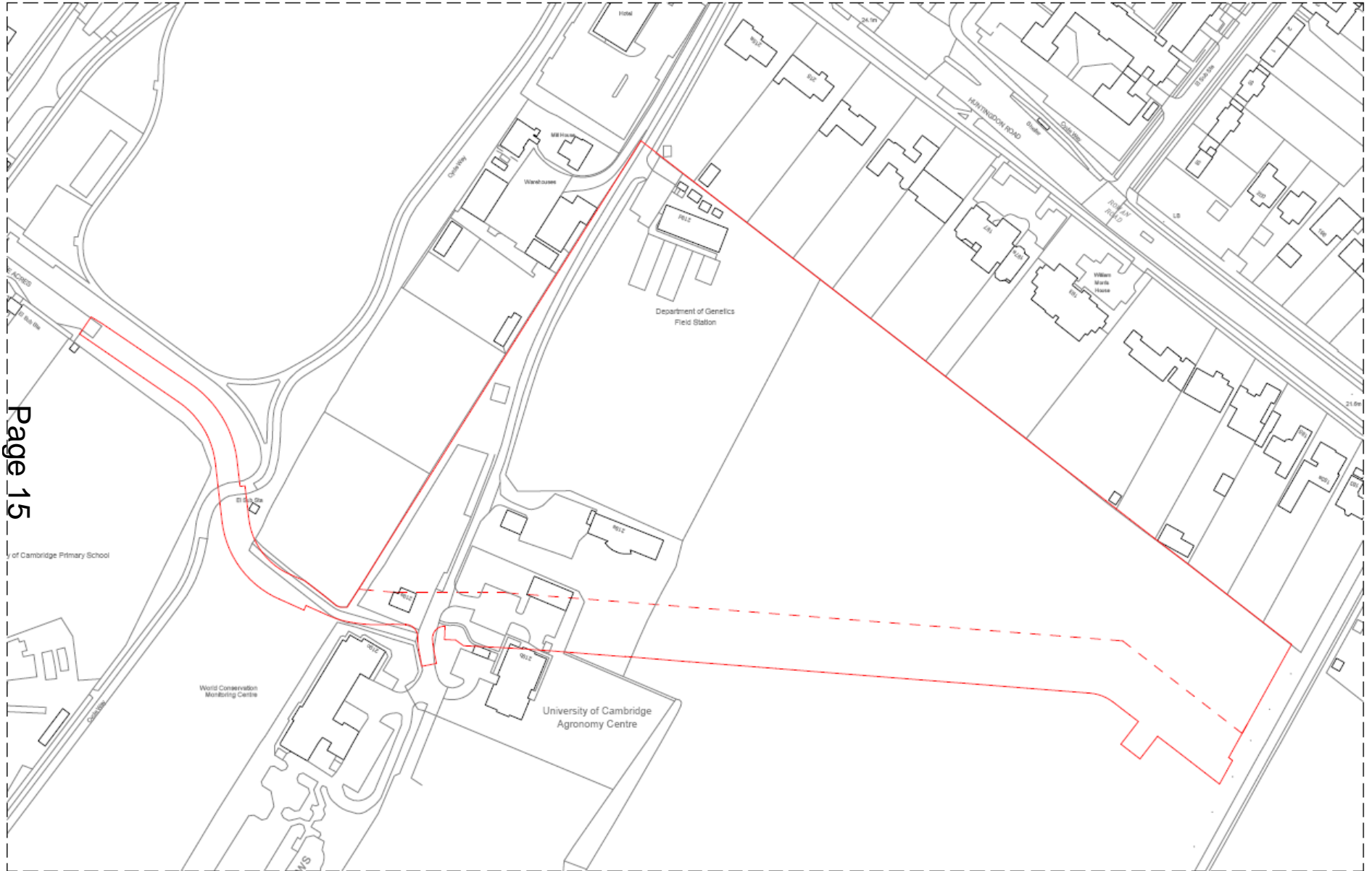


**GREATER CAMBRIDGE**  
SHARED PLANNING

**22/04989/REM – Lots M4 & M5  
Eddington Land Between Madingley  
Road & Huntingdon Road  
Cambridge Cambridgeshire CB3 0DL**

Proposal: Reserved Matters approval for appearance, landscaping, layout and scale for 160 dwellings, access roads, cycle and pedestrian routes, cycle and car parking, landscaping, utilities and associated ancillary structures at Lots M4 and M5, North West Cambridge Development following outline planning permission 11/1114/OUT as varied by ref:13/1402/S73.

# Site Location Plan



**Key**  
 — Planning Red Line Boundary  
 - - - Land Ownership Boundary

Rev	Date	Description
0711022		Issue for planning application
A	08/11/22	Boundary amended to incorporate drainage ditch

Drawn	Chk	Drawn	CC
CC	EW	Checked	BW
RJE	EW	Date	07/10/22
		Scale	1:1250

**NORTH WEST CAMBRIDGE  
 LAND PARCELS M4 AND M5**  
 Existing Site Location Plan

**AA8436-2000  
 REV A**  
 FOR PLANNING

**PRP** prp-co.uk  
 London  
 020 7653 1200

CDM REGULATIONS 2015: All current drawings and specifications for the project must be read in conjunction with the Designer's Hazard and Environment Assessment Record. All intellectual property rights reserved.







# Block A Elevations



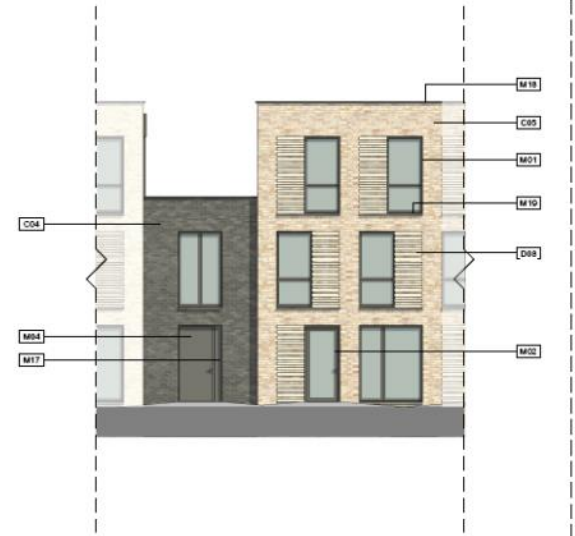
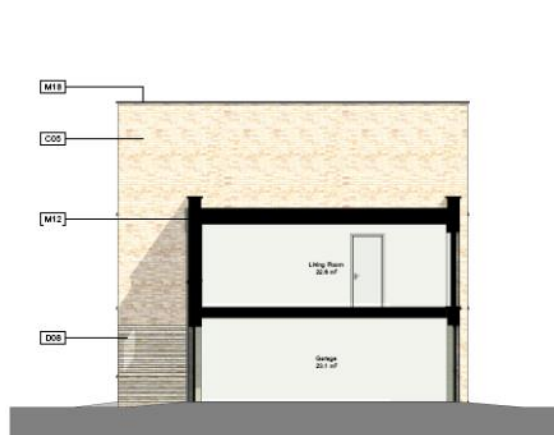
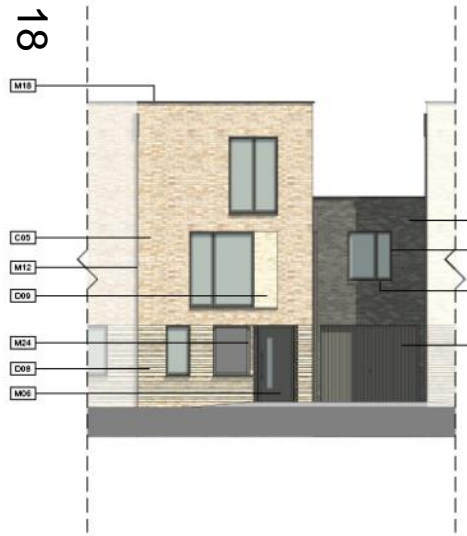
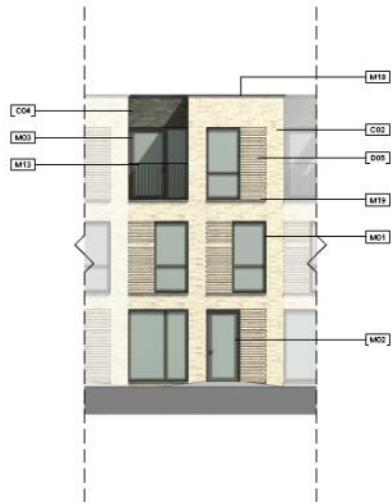
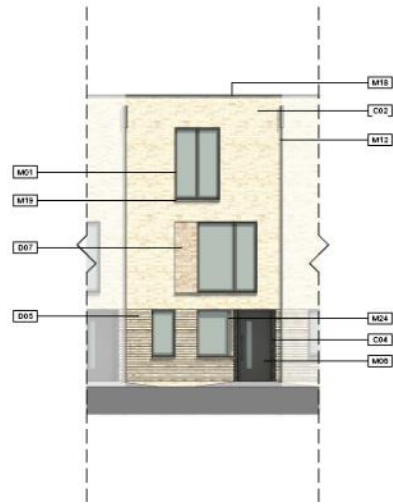
Page 17



Top: South  
Bottom: West

Top: North  
Bottom: East

# Typical Courtyard Housing Elevations



# Typical Development Edge Housing Elevations



# Site Sections – Loop Road



Page 20



Rev.	Date	Description	By	Rev.
1	07/10/22	Update following planning comments	SR	1.0
2	07/10/22	Check for consistency with drawings	SR	2.0

**NORTH WEST CAMBRIDGE LAND  
PARCELS M4 AND M5  
Site Sections (Sheet A)**

**AA8436-2500** **REV A**  
**FOR PLANNING**

Drawn: CC Checked: SW Date: 07/10/22 Scale: @A1 1:200

**PRP** prp-03-uk  
London  
020 7863 1200

Top: Facing northwest boundary. Middle and bottom: facing northeast boundary.



# Site Sections – Secondary Street Frontage

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Section 4a



Rev	Date	Description	By	Chk
A	3/28/22	Update following other comments	CC	RUE
	07/19/22	Issue for planning application	CC	RUE

NORTH WEST CAMBRIDGE I AND  
PARCELS M4 AND M5  
Site Sections (Sheet B)

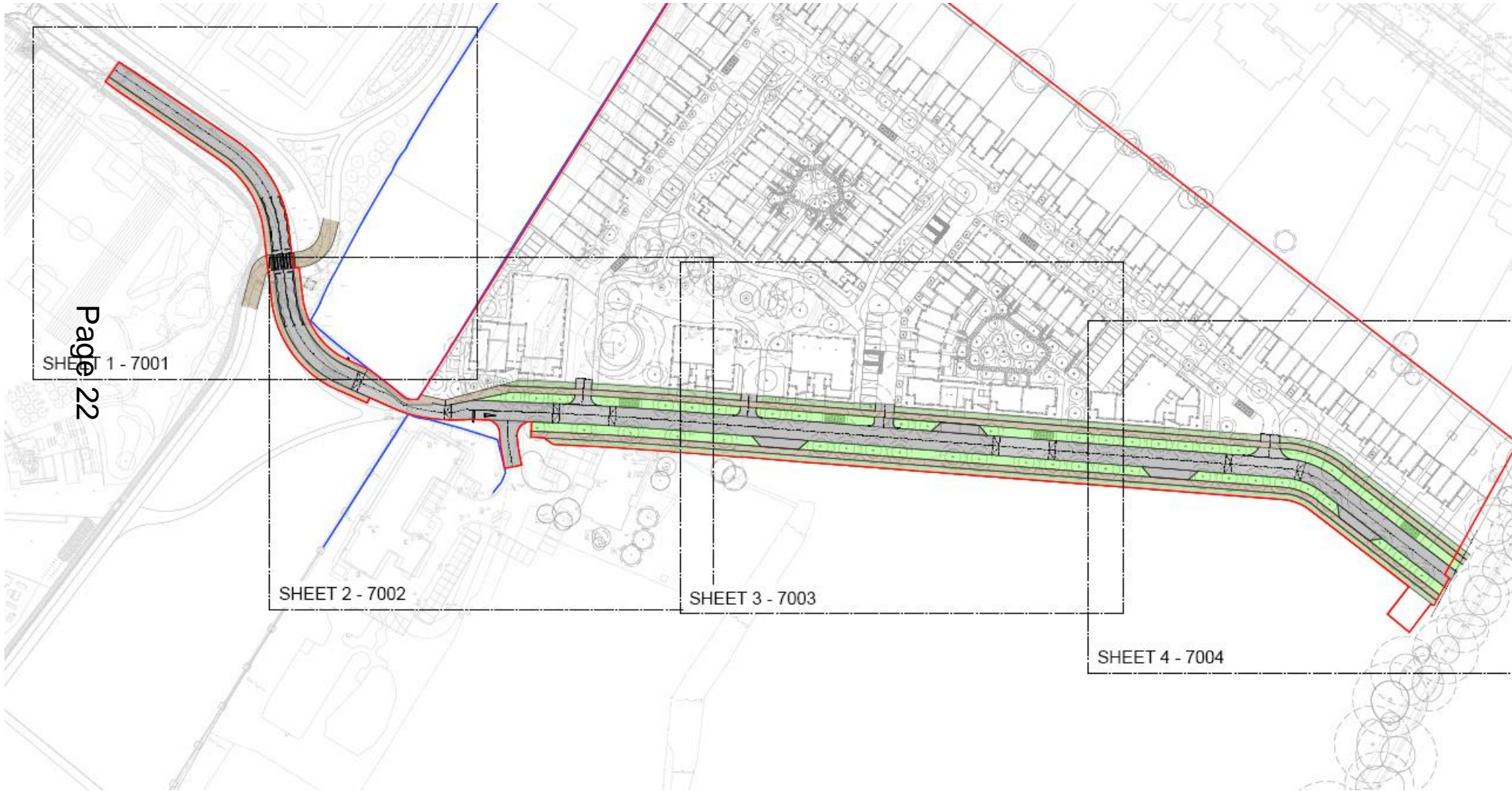
AAB436-2501  
FOR PLANNING

REV A

Sheet 05 of 05  
Created: 07/19/22 Date: 07/19/22 Scale: @ 1:1,000

**PRP**  
prp-co-uk  
London  
020 7653 1200

# Secondary Street Layout



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SHEET 1 - 7001

SHEET 2 - 7002

SHEET 3 - 7003

SHEET 4 - 7004

JDCC

5 April 2023

Rebecca Ward,  
Principal Planner



**GREATER CAMBRIDGE**  
SHARED PLANNING

# **22/05018/REM and 22/05037/REM Land North of Cherry Hinton (Springstead Village) Coldhams Lane, Cambridge**

Reserved matters application for appearance, landscape, layout and scale for 351 residential units and associated car parking, cycle parking and landscaping, along with partial discharge of conditions 10, 11, 12, 13, 14, 17, 18, 19, 24, 26, 26, 29, 30, 36, 37, 38, 40, 44, 45, 55, 59, 61, 64 pursuant to outline planning permission 18/0481/OUT as varied by refs: 22/01967/S73



# Site Location Plan

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# Proposed Landscape Masterplan (2)



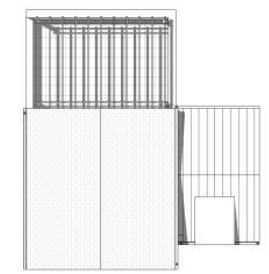
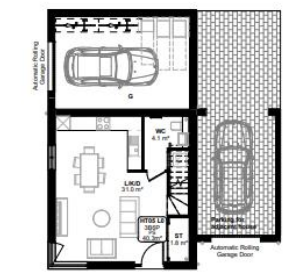
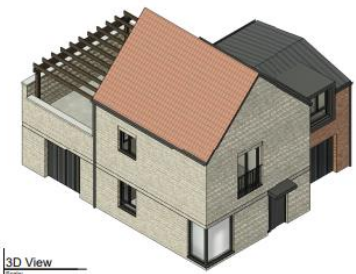
# Tenure Type Example (1)



For setting out and specification of structure refer to Structural Engineers documents.  
 For setting out and specification of services refer to M&E Consultants documents.  
 In all other relevant drawings and specifications from the Architect and other consultants.  
 If in doubt, ask.



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**KEY LEGEND**

ASHP Air Source Heat Pump	Ls Landing
B1 Bedroom 1 (by number)	RL Rooflight
Bs Bathroom	RWP Rain water pipe
D Dining	RWD Rain water outlet
Dv Downer	SVP Soil vent pipe
En Ensuite	St Storage
Fa Family room	SLC Liner Cladding*
G Garage	W Filtered wastebin
H Hall	WC Toilet/Chamber
K Kitchen	WM Washing Machine
L Living	WM Waste to MB (subject to approval details)

**MATERIAL KEY LEGEND**

**BRICK & CLADDING**

- B1 Midland brick
- B2 Light buff brick
- B3 Soft light red brick
- B4 Mid buff brick with decorative soft light red brick stripes
- B5 Mid buff brick with decorative dark grey brick stripes
- B6 Soft light red brick with decorative dark grey brick stripes
- B7 Protective headless brick cladding
- B8 Dark weatherboarding

**ROOF**

- R1 Milled and pan tiles
- R2 Dark grey roof tile
- R3 Fobair standing seam roof

**OTHER**

- O1 Light profiled weatherboarding
- O2 Glass ceiling panel
- O3 Dark window frame
- O4 Metal lath and plaster - colour to match window frame
- O5 Metal lath and plaster - colour to match window frame
- O6 Plaster
- O7 Brick finish with timber eave - including integrated signage and light
- O8 Brick saddle cladding
- O9 Decorative brick cladding
- O10 Protecting metal canopy - colour to match window frame
- O11 Replicable masonry - colour to match window frame
- O12 Jaffal lath and plaster - colour to match window frame
- O13 Red brick cladding
- O14 Dark grey cladding
- O15 Garage door - colour to match window frame
- O16 Thermal break cladding
- O17 ASHP unit
- O18 Metal lath and plaster with solid acoustic panel - colour to match window frame
- O19 Concrete brick cladding
- O20 GWP downer or projecting key - dark grey, colour to match window frame
- O21 Dark grey brick

Glass Internal Area (GIA) for HT05 (386P) PG		
Level	Unit No.	Area (sqft)
Level 1	HT05.L1	61.3
Level 1	HT05.L1	61.7
		123.1

**PLANNING**

Developer Wharf  
 35 Graham Street  
 London W1 6JN  
 020 7306 7777  
 hannah.watmore@ptes.co.uk  
 @ptesarchitects  
 www.pollardthomasedwards.co.uk



Land North of Cherry Hillon 20-269 LB 1: 100&A1 MAR 21  
 RMA 3 - 3 Bed - HT05-B (386P) CHE-PTE-R3-XX-DR-A-10043 C2 A3  
 28



# Tenure Type Example (2)

Excludes LIP (PPE). Use figured dimensions only. **DO NOT SCALE**. All dimensions are in metres unless noted otherwise. This drawing must be read in conjunction with all other relevant drawings and specifications from the Architect and other consultants. If in doubt, ask.

In consultation, any discrepancies must be immediately reported to the Architect. All settings out to face of structure or to grid. All partitions set out to structure or structure. For setting out and specification of I&E services refer to M&E Consultants documents. For setting out and specification of structure refer to Structural Engineer's documents.



**KEY LEGEND**

ADHP Air Source Heat Pump	La Landing
B1 Bedroom 1 (by number)	Ro Fluorlight
B2 Bedroom 2	RWP Rain water pipe
D Dining	RWB Rain water outlet
Co Corner	SWP Sewer vent pipe
En Ensuite	St Storage
Fa Family room	UC Utility Cupboard
G Garage	Wt Fibre wardrobe
H Hall	WC Toilet/Cloakroom
K Kitchen	WM Washing Machine
L Living	see key plan for equipment marks

**MATERIAL KEY LEGEND**

**BRICK & CLADDING**

- 01 Red brick
- 02 Light grey brick
- 03 Soft light red brick
- 04 Matt buff brick with decorative soft light red brick edges
- 05 Matt buff brick with decorative dark grey brick edges
- 06 Matt light red brick with decorative dark grey brick edges
- 07 Precast concrete brick cladding
- 08 Dark weatherboarding

**ROOF**

- 09 Matted red pan tiles
- 10 Dark grey roof tiles
- 11 Flatbed standing seam roof

**OTHER**

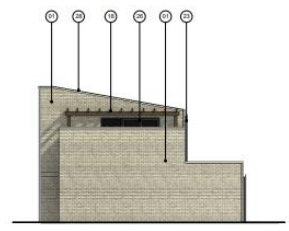
- 12 Light profiled weatherboarding
- 13 Coloured wall brick colour to match house
- 14 Exposed ceiling fence
- 15 Dark timber fence - colour to match window frames
- 16 Matt cladding - colour to match window frames
- 17 Matt insulating - colour to match window frames
- 18 Plyboard
- 19 Brick bands with timber eave - including integrated signage and light
- 20 Brick eave cladding
- 21 Decorative brick cladding
- 22 Precast metal canopy - colour to match window frames
- 23 Fibreglass mesh - colour to match window frames
- 24 Jute fabric - colour to match window frames
- 25 Ratched metal range
- 26 Dark grey window frames
- 27 Garage door - colour to match window frames
- 28 Matt metal mesh ceiling - to match window frames
- 29 Fib and mesh decorative blind/bush
- 30 ADHP unit
- 31 Matt cladding with solid acoustic panel - colour to match window frames
- 32 Caststone brick cladding
- 33 GWP door or projecting bay - dark grey colour to match window frames
- 34 Dark grey brick

Level	Gravel Area	Area (m <sup>2</sup> )
Level 0	1702.15	22.7
Level 1	1702.11	33.5

Code	Description	Area (m <sup>2</sup> )
01	Roof Area	33.5
02	Roof Area	33.5

**PLANNING**

Developer: Wheel  
 38 Garden Street  
 London N1 6JX  
 020 7336 7777  
 Reservations: reservations@wheel.co.uk  
 @wheelhouse  
 www.pollardthomasedwards.co.uk



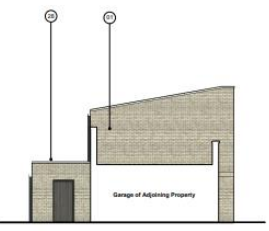
1 Right Elevation  
Scale: 1:100



2 Front Elevation  
Scale: 1:100



3 Rear Elevation  
Scale: 1:100



4 Left Elevation  
Scale: 1:100

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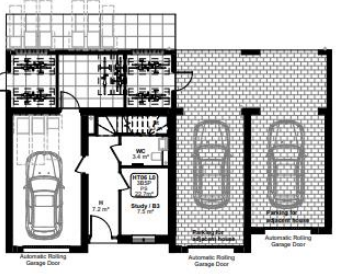
5 Cross Section  
Scale: 1:100



6 Long Section  
Scale: 1:100



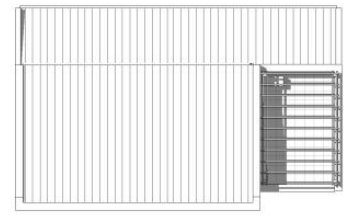
7 3D View  
Scale: 1:100



8 Ground Floor Plan  
Scale: 1:100



9 First Floor Plan  
Scale: 1:100



10 Roof Plan  
Scale: 1:100

# Tenure Type Example Apartments (3)



1 Left Elevation  
Scale: 1:100

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2 Rear Elevation  
Scale: 1:100

**SCALE**  
All dimensions are in millimetres unless noted otherwise.  
All settings out to face of structure or to grid. All positions set out to walls or structures.  
The drawing must be read in conjunction with all other relevant drawings and specifications from the Architect and other consultants.  
For setting out and specification of structure refer to Structural Engineer's documents.

For setting out and specification of M&E services refer to M&E Consultants documents.  
For setting out and specification of structure refer to Structural Engineer's documents.



3 Right Elevation  
Scale: 1:100



4 Front Elevation  
Scale: 1:100

**MATERIAL KEY LEGEND**

- BRICK & CLADDING**
- 01 Mid buff brick
  - 02 Light buff brick
  - 03 Buff buff red brick
  - 04 Buff buff brick
  - 05 Buff buff brick with decorative wall light red brick stripes
  - 06 Mid buff brick with decorative dark grey brick stripes
  - 07 Buff buff red with decorative dark grey brick stripes
  - 08 Projecting header brick detailing
  - 09 Concrete brick cladding
  - 10 H&H and H&H decorative brickwork
  - 11 Dark weatherboarding
  - 12 Light profiled weatherboarding
  - 13 Dark solid cladding
  - 14 Decorative brick cladding
- ROOF**
- 15 Mottled red cast tiles
  - 16 Dark grey roof tiles
  - 17 Flatbed standing seam roof
- OTHER**
- 18 Garden wall Brick colour to match houses
  - 19 Garden fence
  - 20 Dark timber fence
  - 21 Metal rolling gate - colour to match window frames
  - 22 Metal rolling gate - colour to match window frames
  - 23 People
  - 24 Brick bench with timber seat - including integrated signage and light
  - 25 Projecting metal canopy - colour to match window frames
  - 26 Recessed bench - colour to match window frames
  - 27 Metal bollards - colour to match window frames
  - 28 Bespoke metal sign
  - 29 Dark grey window frames
  - 30 Garage door - colour to match window frames
  - 31 Precast stone coping / 1.8m
  - 32 ASP/UP
  - 33 Metal balustrading with solid acoustic panel - colour to match window frames
  - 34 Absorbent noise attenuating balcony soffits
  - 35 GGP Downer or concrete base - dark grey, colour to match window frames
  - 36 Electric vehicle charging stations
  - 37 Ground lighting
  - 38 Raked planes - dark weatherboarding
  - 39 Roof gables - 1100mm high

01	02/22	Issue for Planning	01	01
02	01/22	Issue for Planning	02	02

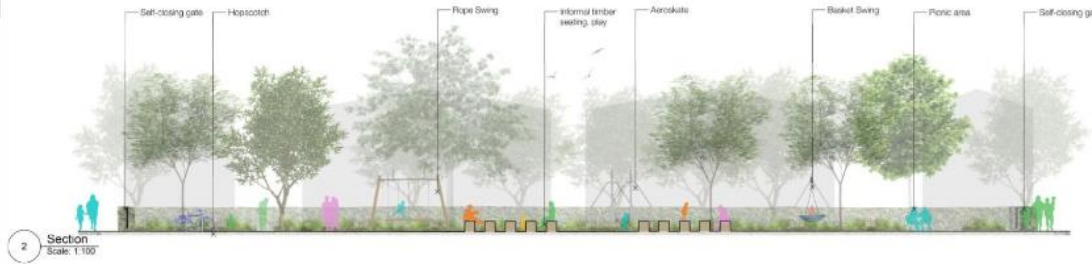
**PLANNING**

Design: What? 28 Garden Street, London N1 8JZ, 020 7326 7777, [forwards@pollardthomasedwards.co.uk](mailto:forwards@pollardthomasedwards.co.uk), [www.pollardthomasedwards.co.uk](http://www.pollardthomasedwards.co.uk)

**Pollard  
Thomas  
Edwards**

Land North of Cherry Hinton 20-069 MR 1:100&A1 OCT 22  
 RMA 1 - Floor Plans 01, &B

# Neighbourhood Park Layout



- Key
- Black Paving
  - Coloured Terrain  
Soft colour with lighter colour areas
  - Chain Bonded Rubber Mulch
  - Dark Chipstone
  - Wood lining to perimeter
  - Self-closing gate
  - Cycle Parking
  - Picnic Table
  - Timber Pergola
  - Dedicated Play Furniture and Safety Zone
  - Natural Play
  - Timber Seating
  - Proposed tree
  - Flowering ornamental lawn grass
  - Edge Planting  
Mix of evergreen and deciduous planting
  - Edge  
Drainable apron
  - Biodiversity enhancing shrub planting  
Mix of native and non-native shrubs
  - Wildflower meadow  
with areas of mown grass park
  - Swale areas
  - Mounds  
Up to 1.2m high

NOTE:  
For details on planting, please refer to drawing MCGG-LD-00C-Destination Play - Planting Plan

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1 Landscape Plan  
Scale: 1:100

**MCGREGOR COXALL**

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AUS: ACN 082 334 290  
UK: 10188653  
PRC: ID NO. 060000220/60708008  
Sydney Melbourne Shenzhen Bristol  
www.mcgregorcoxall.com

Client  
Bellway Latimer  
Cherry Hinton LLP  
Project Team

Project Name  
Springstead Village  
Project No  
0959BRS  
Address  
Land North of Cherry Hinton, Cambridgeshire

Key Plan

Issue Log

Issue	Description	Date	Status
A	PM2 Issue Draft	15/10/2023	Final
B	PM2 Issue Draft	11/10/2023	Final
		10/10/2023	Final

Scale  
1:100 @ A1

North

Phase  
Design Development  
Sheet Title  
Destination Play Space  
Sheet No  
MCGG-LD-011

MCGG-LD-011 Destination Play Space.pdf

By / Checked Date

All dimensions are in millimetres unless otherwise noted  
Do not scale from this drawing

Rev  
C



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